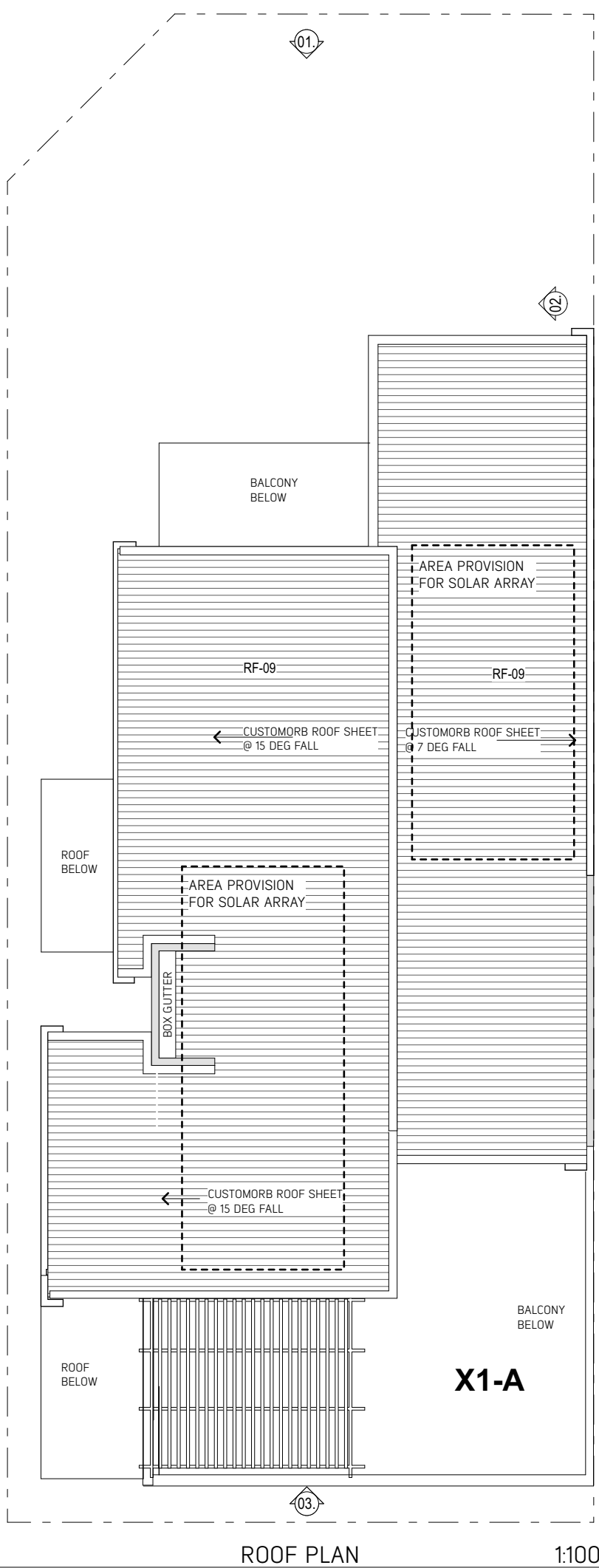
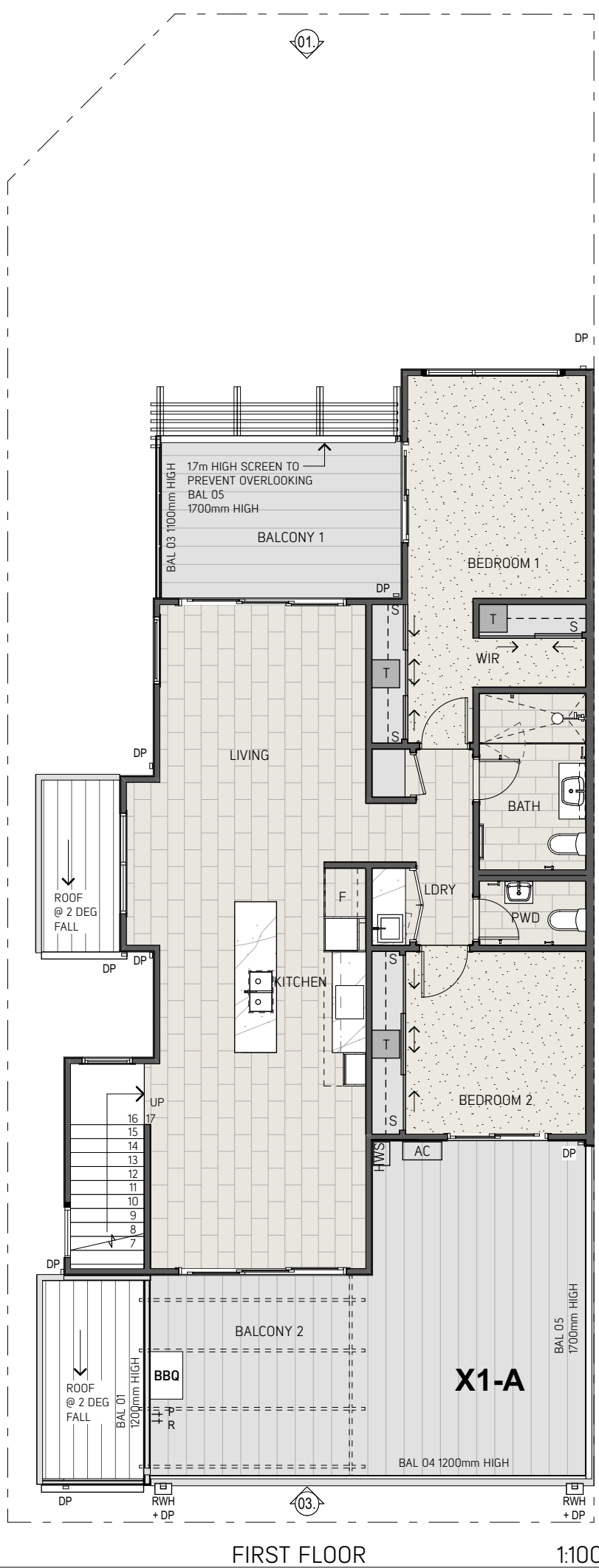
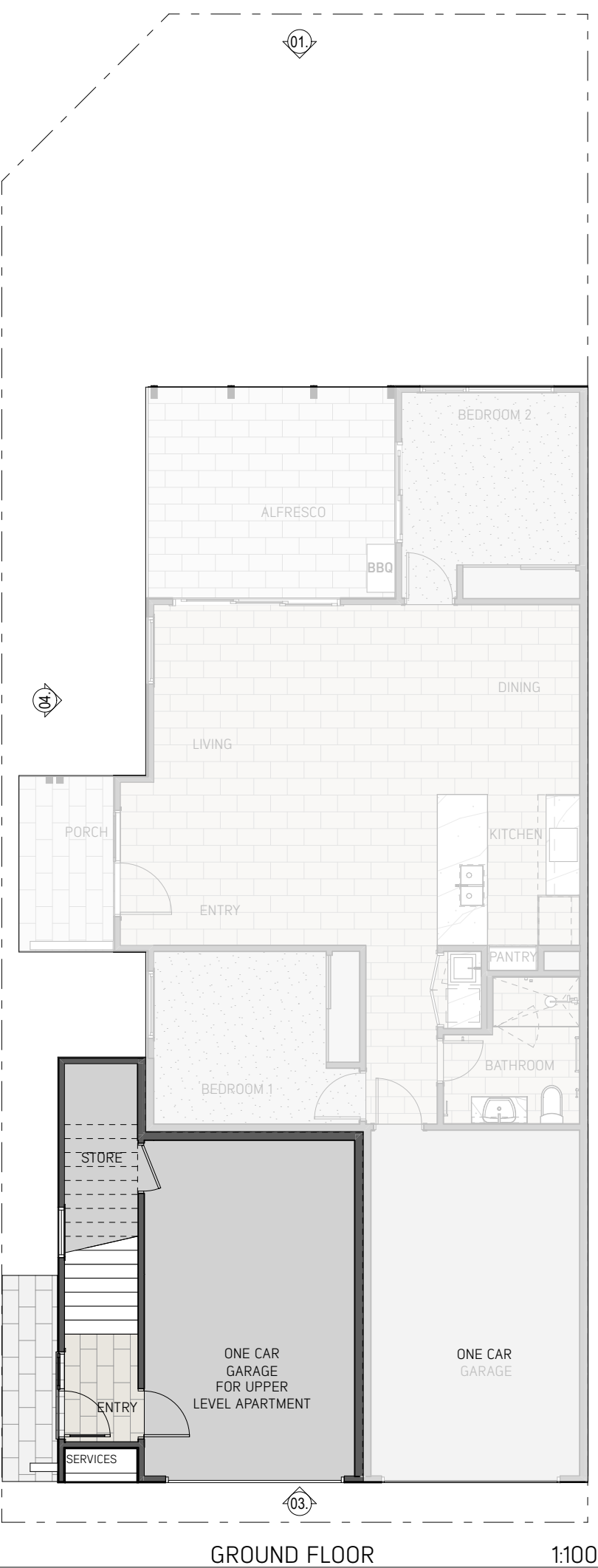


Disclaimer: The content contained in these architectural plans [Plans] remains at all times the intellectual property of Intrapac Property Pty Ltd (Company). The Plans are provided strictly on the basis of and subject to these terms. By taking a copy of the Plans, you acknowledge and represent to the Company that you have read, understood and accepted these terms and agree to keep the Plans confidential. The Plans are current as at the date of issue, and are approximate and for illustrative purposes only. Any furnishings illustrated are not included. To the extent permitted by law, no guarantees, warranties or representations as to the accuracy and completeness of the Plans are made. The Company may substitute items with equivalent items, use substitute product(s) or modify the Plans (including any specifications or dimensions represented on the Plans) due to building and design controls that could not be reasonably foreseen at the time of issue, product changes, unavailability, and similar reasons. You should review the specific terms of the contract of sale prior to purchase. The provisions of the contract of sale override any inconsistency with these Plans. To the extent permitted by law, the Company and its directors, officers, employees, advisers and agents expressly disclaim all liability which may be based on any information, statement or opinion contained in or omitted from the Plans. You must not rely upon such information in any way. The Company accepts no liability for any action taken or not taken by any party in reliance on the Plans.



AREA SCHEDULE

WHITEHAVEN + BELLARINE:

LOT SIZE:	280	10.5m W
SITE COVER:	54%	152 : 280
PERMEABLE:	34%	95 : 280

BELLARINE:

GROUND:	13
FIRST:	109
NSA:	121
GARAGE:	25
PORCH:	4
BALCONY 1:	12
BALCONY 2:	27
GFA:	189
POS:	39

NO ROOF DECK

NOTE:
PLANS MAY BE A MIRROR VERSION
DEPENDING ON ORIENTATION IN LOT

SALES CONTRACT
DOCUMENTS

ARCADIA

Arcadia Studio Pty Ltd
ABN 42 625 145 992
Studio 5 / 109 Hawke Street
WEST MELBOURNE 3003
frontdesk@arc-studio.com.au
www.arc-studio.com.au

Client

INTRAPAC

Project

NEW TOWNHOUSES

Project Address

QUAY 2
TORQUAY

Project Number

A1617025

House Type

BELLARINE

Facade Type

- NO ROOF DECK

Date

24/10/18

Scale

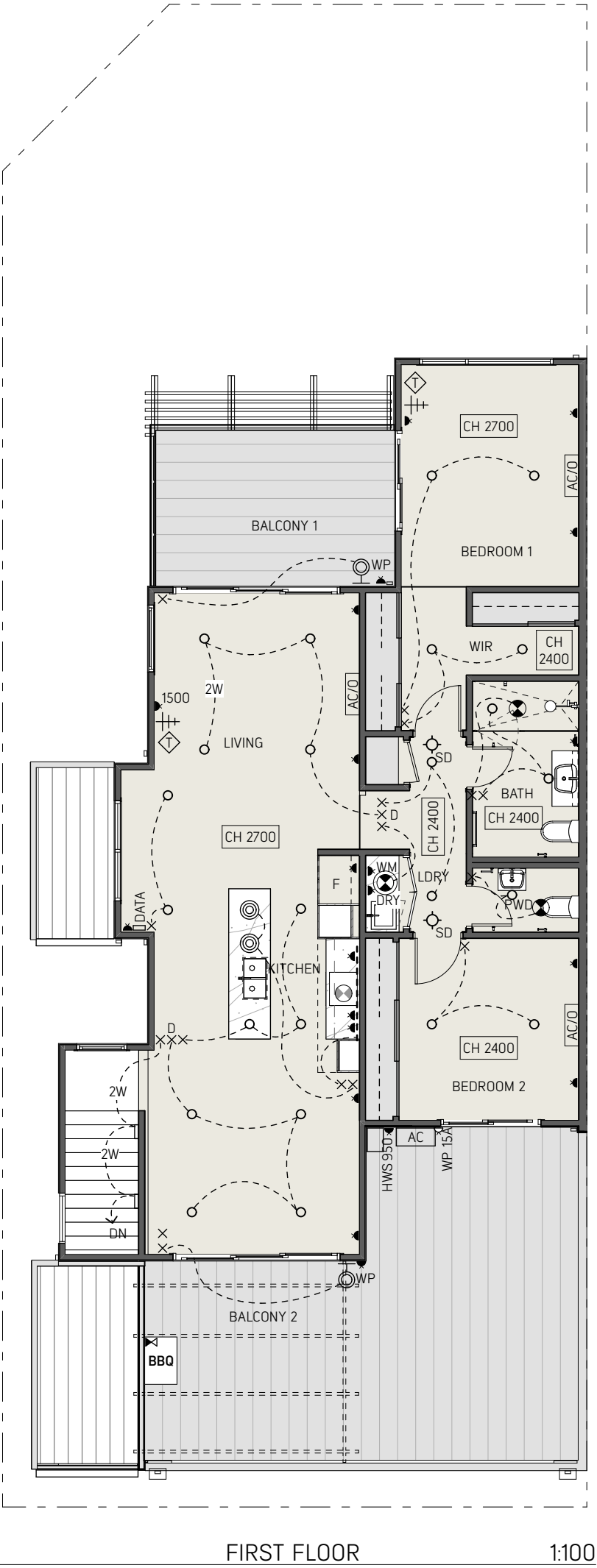
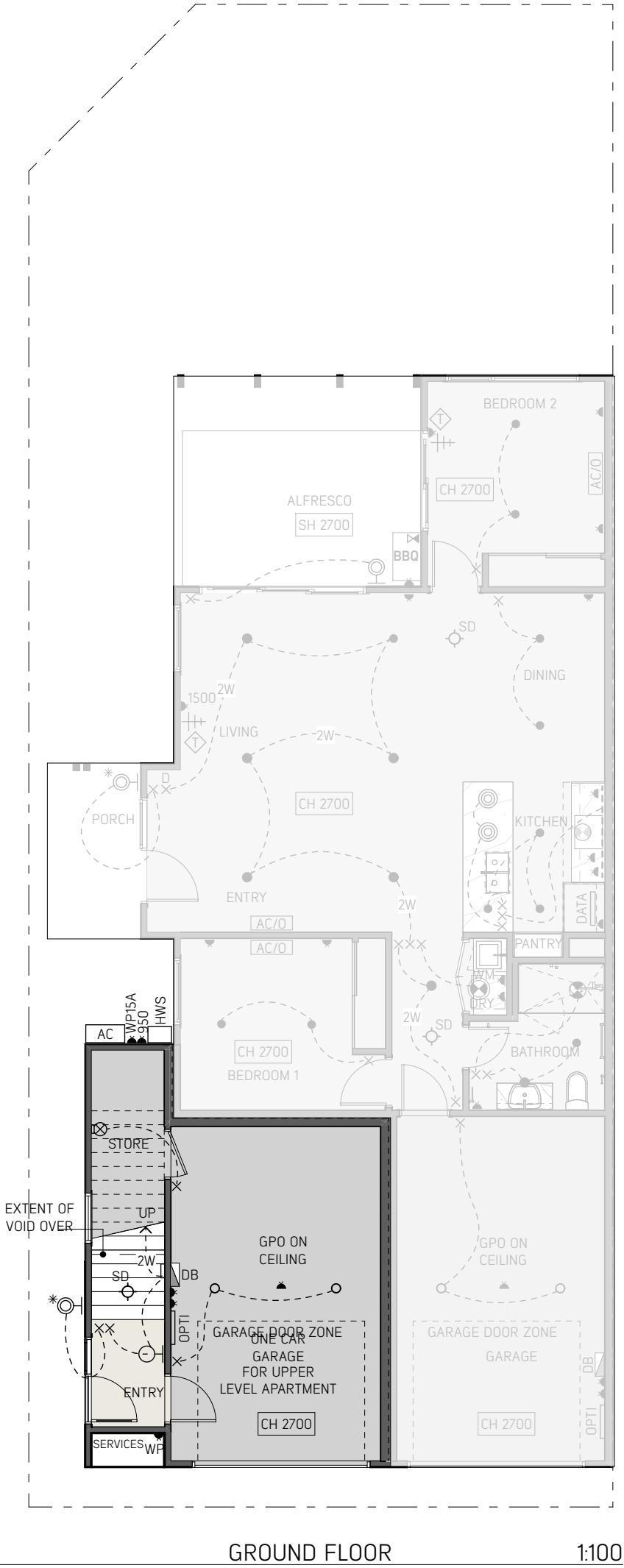
1:100 @ A3

Drawing

PLANS

Revision

Disclaimer: The content contained in these architectural plans [Plans] remains at all times the intellectual property of Intrapac Property Pty Ltd (Company). The Plans are provided strictly on the basis of and subject to these terms. By taking a copy of the Plans, you acknowledge and represent to the Company that you have read, understood and accepted these terms and agree to keep the Plans confidential. The Plans are current as at the date of issue, and are approximate and for illustrative purposes only. Any furnishings illustrated are not included. To the extent permitted by law, no guarantees, warranties or representations as to the accuracy and completeness of the Plans are made. The Company may substitute items with equivalent items, use substitute product(s) or modify the Plans (including any specifications or dimensions represented on the Plans) due to building and design controls that could not be reasonably foreseen at the time of issue, product changes, unavailability, and similar reasons. You should review the specific terms of the contract of sale prior to purchase. The provisions of the contract of sale override any inconsistency with these Plans. To the extent permitted by law, the Company and its directors, officers, employees, advisers and agents expressly disclaim all liability which may be based on any information, statement or opinion contained in or omitted from the Plans. You must not rely upon such information in any way. The Company accepts no liability for any action taken or not taken by any party in reliance on the Plans.



LEGEND:

DB

DISTRIBUTION BOARD

OPTI

OPTICOM INTERNET
SUPPLY POINT
[+ DEDICATED GPO]

DATA

MODEM/ROUTER POINT
[+ DEDICATED GPO]

SD

SMOKE DETECTOR

GAS SOCKET OUTLET

DOUBLE GPO
200mm ABOVE F.L.
UNLESS NOTED OTHERWISE.
WP = W/PROOF 15A = 15 AMP

CH 2700

CEILING HEIGHT
ABOVE FLOOR LEVEL

SH 2700

SOFFIT HEIGHT
ABOVE FLOOR LEVEL

GCH 2700

CEILING HEIGHT
ABOVE GARAGE SLAB

X

SWITCH

D X

SWITCH WITH DIMMER

2W

2 WAY SWITCH

*

MOTION SENSOR

LT-01

L.E.D. DOWNLIGHT
E - FOR EXTERNAL SOFFITS

LT-02

PENDANT LIGHT OVER
KITCHEN BENCH

LT-03

KITCHEN O/HEAD L.E.D.

LT-04

STAIR LIGHT

LT-05

WALL LIGHT - EXTERNAL
PORCH - NOM. 2200 ABOVE F.L.
ROOF DECK - NOM. 700 ABOVE F.L.

LT-06

L.E.D. DOWNLIGHT
SURFACE MOUNTED
FOR HOUSE TYPE X

LT-07

LIGHT IN
CUPBOARD OR ROOF

CEILING EXHAUST FAN

CEILING EXHAUST FAN
+ DOWNLIGHT

RANGEHOOD EXHAUST

TELEVISION POINT*
200mm ABOVE F.L.
UNLESS NOTED OTHERWISE.
* OUTLET TO ALLOW FOR
TV ANTENNA AND CABLE TV

CAT 6 CABLE POINT *
200mm ABOVE F.L.
UNLESS NOTED OTHERWISE.
* OUTLET TO ALLOW FOR
TELEPHONE AND DATA

AC

AIR CON CONDENSOR UNIT

AC/O

AIR CON OUTLET MOUNTED
JUST BELOW CORNICE

AP

ACCESS PANEL
RONDO PANTHER

HWS

HOT WATER SERVICE

HU

HEATING UNIT OVER

SL

SKYLIGHT

NO ROOF DECK

NOTE:
PLANS MAY BE A MIRROR VERSION
DEPENDING ON ORIENTATION IN LOT

SALES CONTRACT
DOCUMENTS

ARCADIA

ARCadia Studio Pty Ltd
ABN 42 625 145 992
Studio 5 / 109 Hawke Street
WEST MELBOURNE 3003
frontdesk@arc-studio.com.au
www.arc-studio.com.au

Client

INTRAPAC

Project

NEW TOWNHOUSES

Project Address

QUAY 2
TORQUAY

Date

24/10/18

Project Number

A1617025

Scale

1:100 @ A3

House Type

BELLARINE

Facade Type

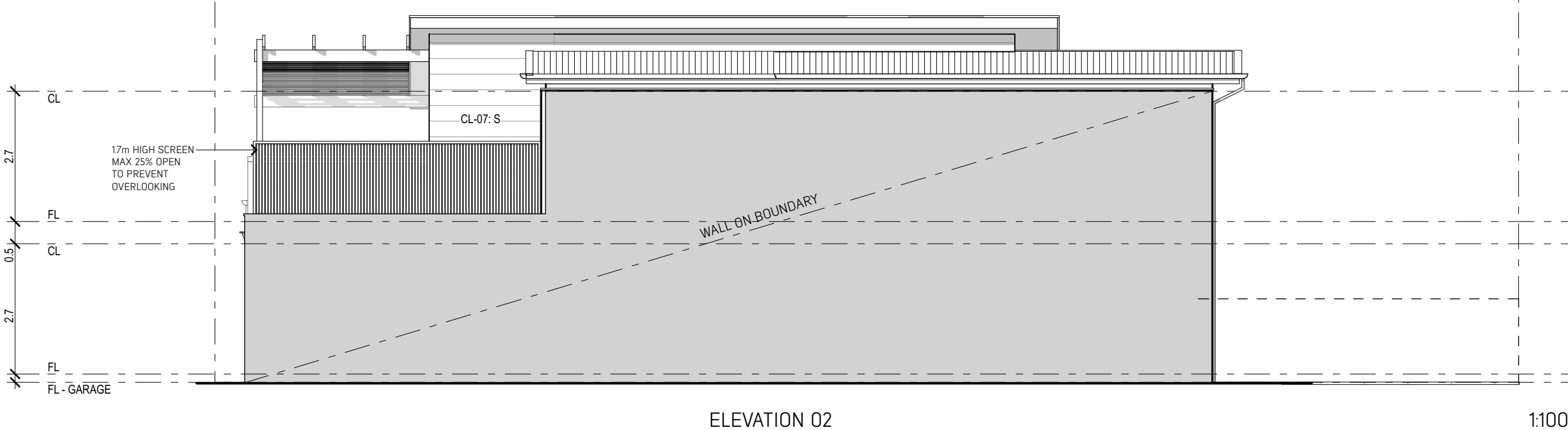
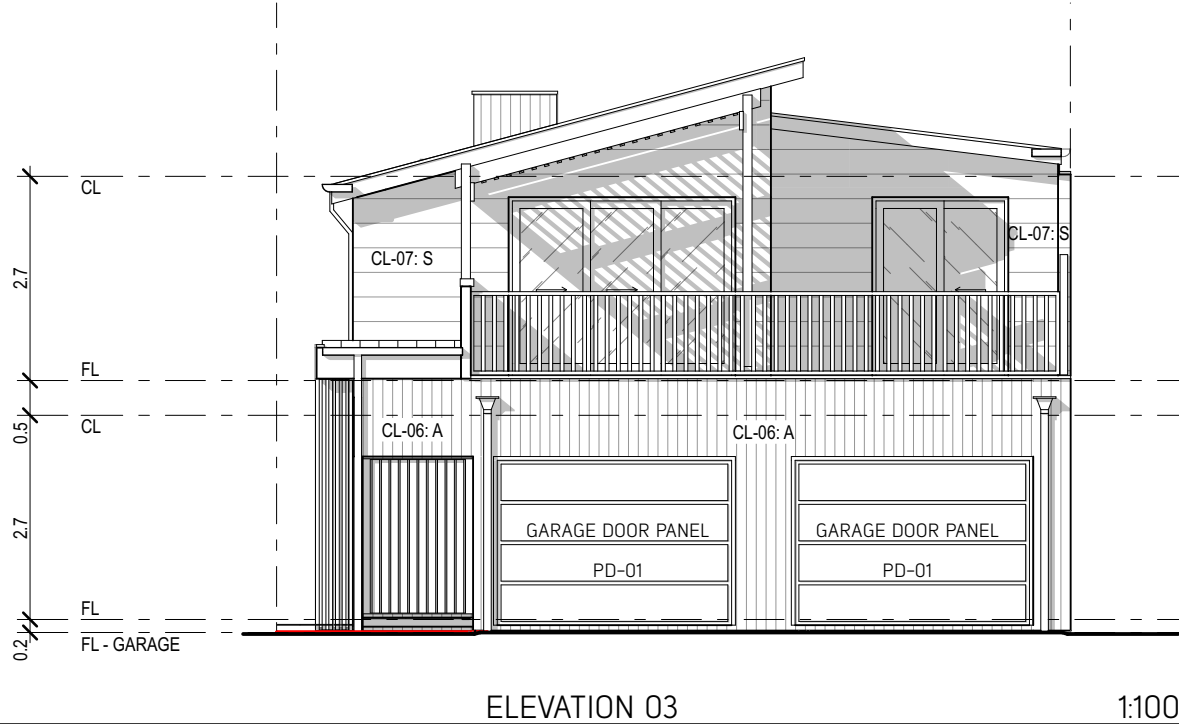
- NO ROOF DECK

Drawing

Revision

ELECTRICAL PLANS

Disclaimer: The content contained in these architectural plans (Plans) remains at all times the intellectual property of Intrapac Property Pty Ltd (Company). The Plans are provided strictly on the basis of and subject to these terms. By taking a copy of the Plans, you acknowledge and represent to the Company that you have read, understood and accepted these terms and agree to keep the Plans confidential. The Plans are current as at the date of issue, and are approximate and for illustrative purposes only. Any furnishings illustrated are not included. To the extent permitted by law, no guarantees, warranties or representations as to the accuracy and completeness of the Plans are made. The Company may substitute items with equivalent items, use substitute product(s) or modify the Plans (including any specifications or dimensions represented on the Plans) due to building and design controls that could not be reasonably foreseen at the time of issue, product changes, unavailability, and similar reasons. You should review the specific terms of the contract of sale prior to purchase. The provisions of the contract of sale override any inconsistency with these Plans. To the extent permitted by law, the Company and its directors, officers, employees, advisers and agents expressly disclaim all liability which may be based on any information, statement or opinion contained in or omitted from the Plans. You must not rely upon such information in any way. The Company accepts no liability for any action taken or not taken by any party in reliance on the Plans.



NO ROOF DECK

NOTE:
PLANS MAY BE A MIRROR VERSION
DEPENDING ON ORIENTATION IN LOT

SALES CONTRACT
DOCUMENTS

ARCADIA

Arcadia Studio Pty Ltd
ABN 42 625 145 992
Studio 5 / 109 Hawke Street
WEST MELBOURNE 3003
frontdesk@arc-studio.com.au
www.arc-studio.com.au

Client
INTRAPAC

Project
NEW TOWNHOUSES

Project Address Date
QUAY 2 24/10/18
TORQUAY

Project Number Scale
A1617025 1:100 @ A3

House Type

BELLARINE

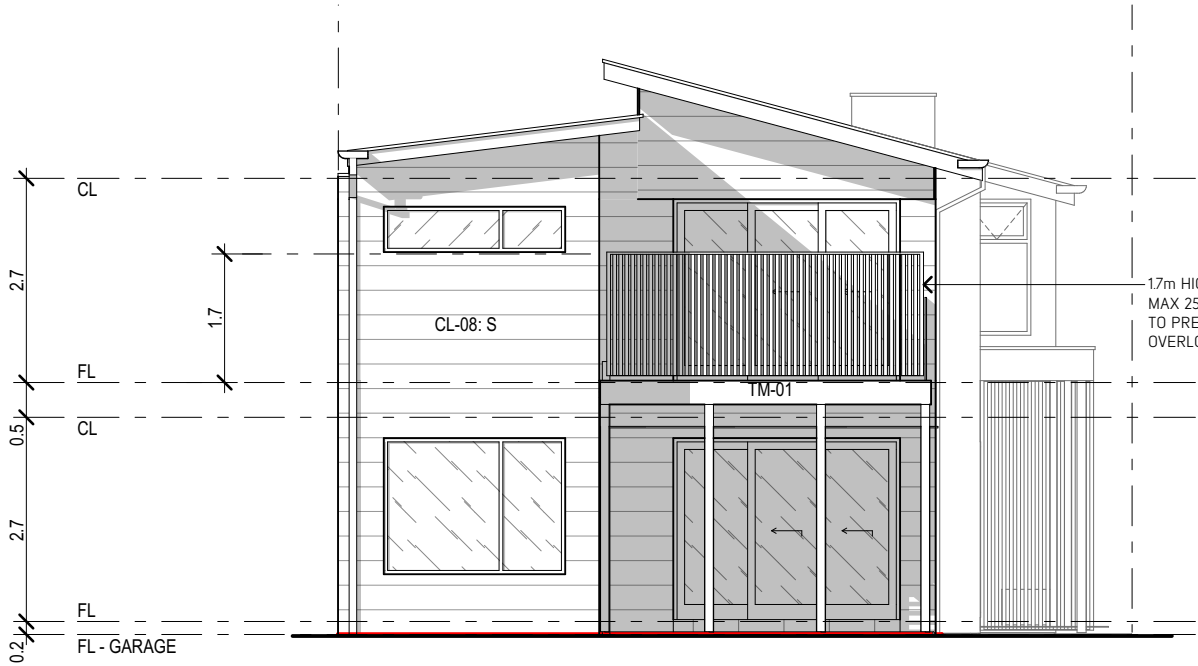
Facade Type

- NO ROOF DECK
- FACADE TYPE A

Drawing Revision
ELEVATIONS 1

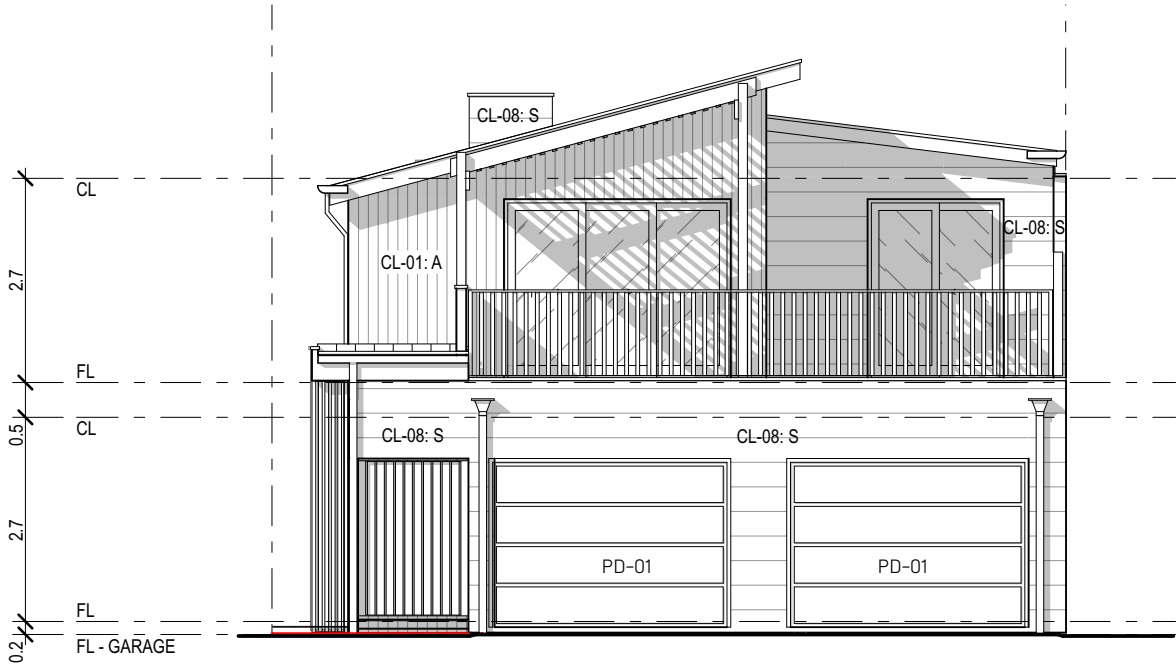
INTRAPAC

Disclaimer: The content contained in these architectural plans (Plans) remains at all times the intellectual property of Intrapac Property Pty Ltd (Company). The Plans are provided strictly on the basis of and subject to these terms. By taking a copy of the Plans, you acknowledge and represent to the Company that you have read, understood and accepted these terms and agree to keep the Plans confidential. The Plans are current as at the date of issue, and are approximate and for illustrative purposes only. Any furnishings illustrated are not included. To the extent permitted by law, no guarantees, warranties or representations as to the accuracy and completeness of the Plans are made. The Company may substitute items with equivalent items, use substitute product(s) or modify the Plans (including any specifications or dimensions represented on the Plans) due to building and design controls that could not be reasonably foreseen at the time of issue, product changes, unavailability, and similar reasons. You should review the specific terms of the contract of sale prior to purchase. The provisions of the contract of sale override any inconsistency with these Plans. To the extent permitted by law, the Company and its directors, officers, employees, advisers and agents expressly disclaim all liability which may be based on any information, statement or opinion contained in or omitted from the Plans. You must not rely upon such information in any way. The Company accepts no liability for any action taken or not taken by any party in reliance on the Plans.



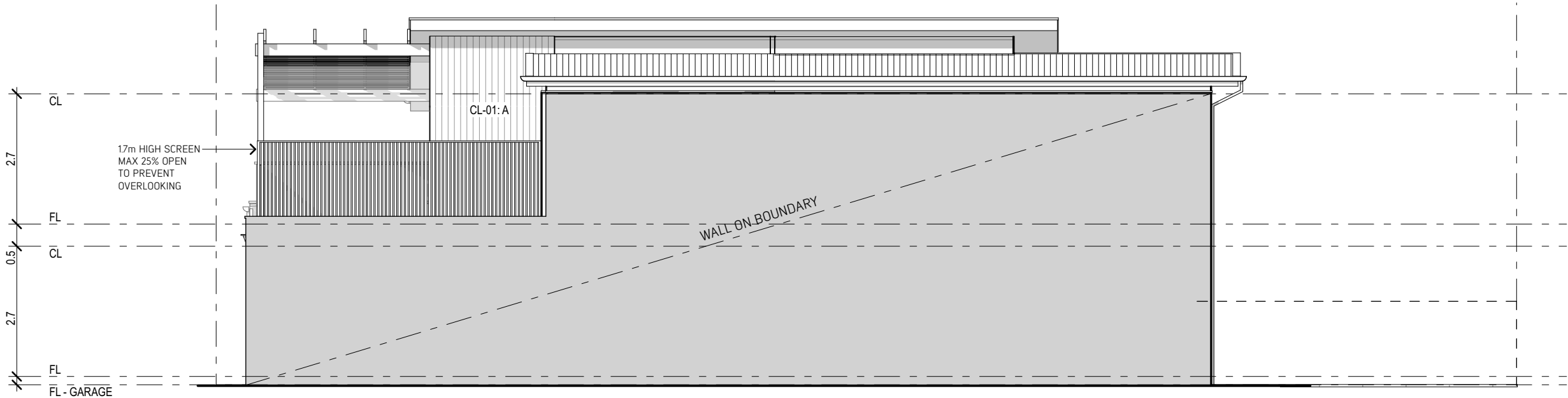
ELEVATION 01

1:100



ELEVATION 03

1:100



ELEVATION 02

1:100



ELEVATION 04

1:100

NO ROOF DECK

NOTE:
PLANS MAY BE A MIRROR VERSION
DEPENDING ON ORIENTATION IN LOT

SALES CONTRACT
DOCUMENTS

ARCADIA

Arcadia Studio Pty Ltd
ABN 42 625 145 992
Studio 5 / 109 Hawke Street
WEST MELBOURNE 3003
frontdesk@arc-studio.com.au
www.arc-studio.com.au

Client
INTRAPAC

Project
NEW TOWNHOUSES

Project Address
QUAY 2
TORQUAY

Project Number
A1617025

House Type
BELLARINE

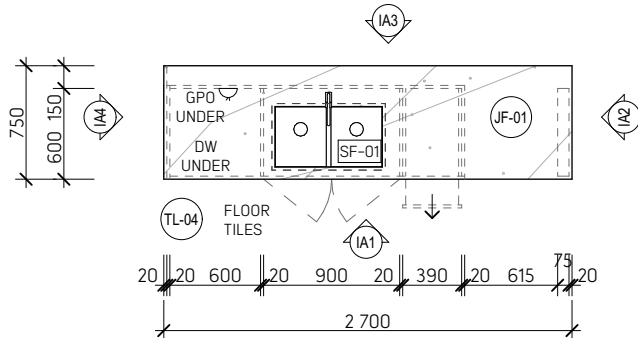
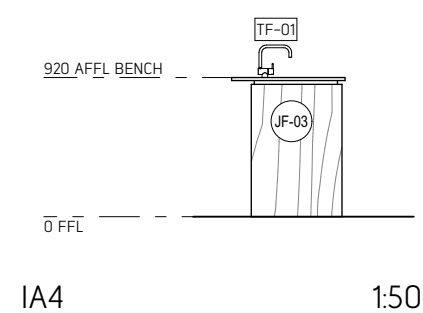
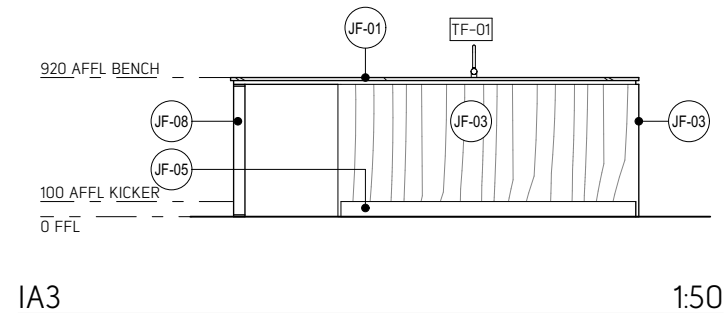
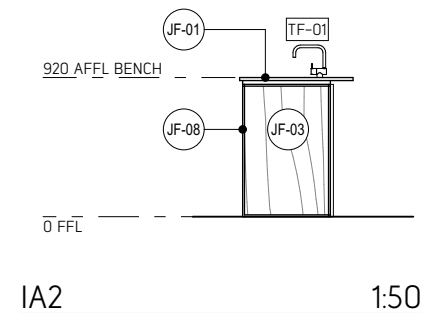
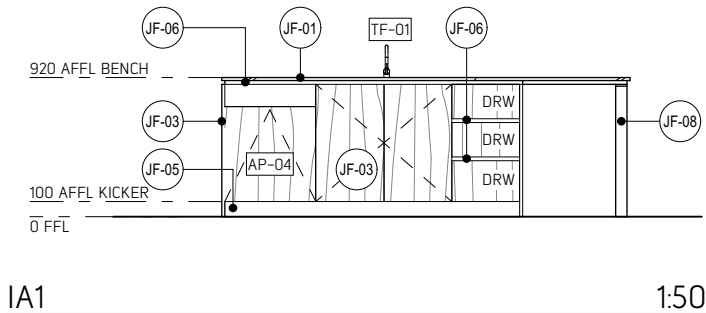
Facade Type
- NO ROOF DECK
- FACADE TYPE B

Drawing
ELEVATIONS 2

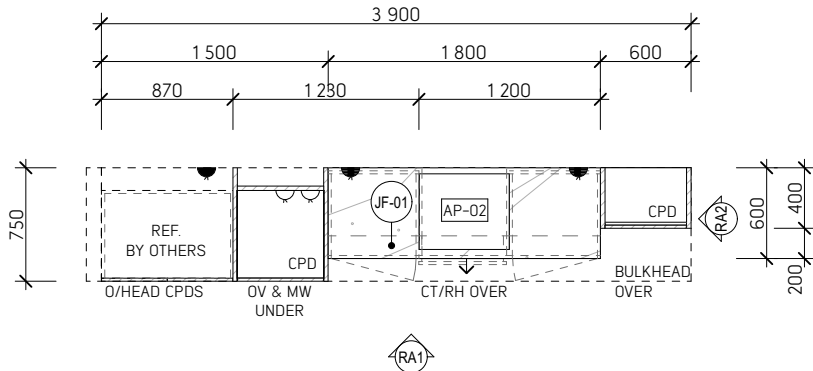
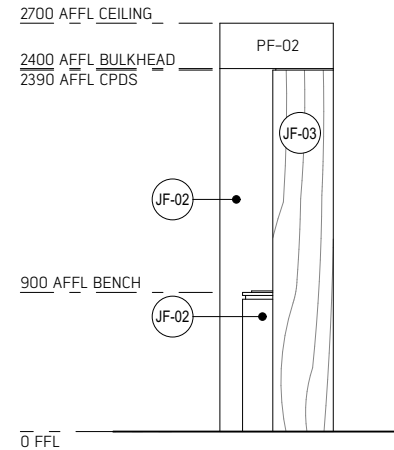
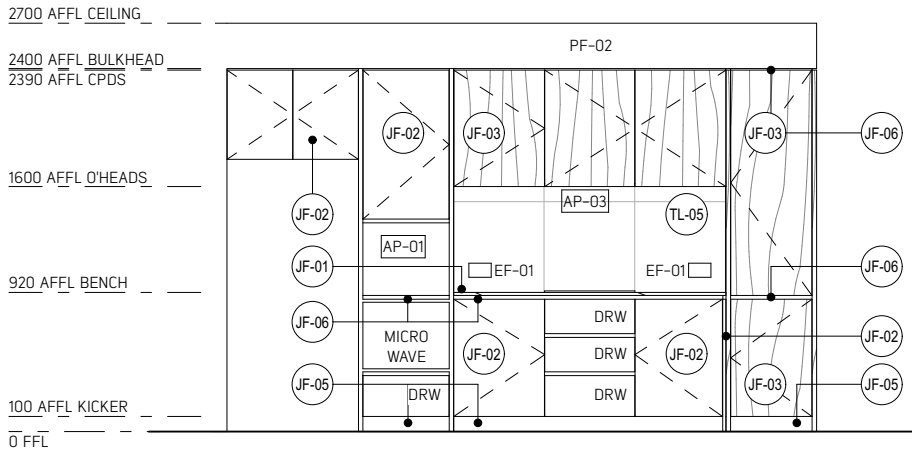
Revision



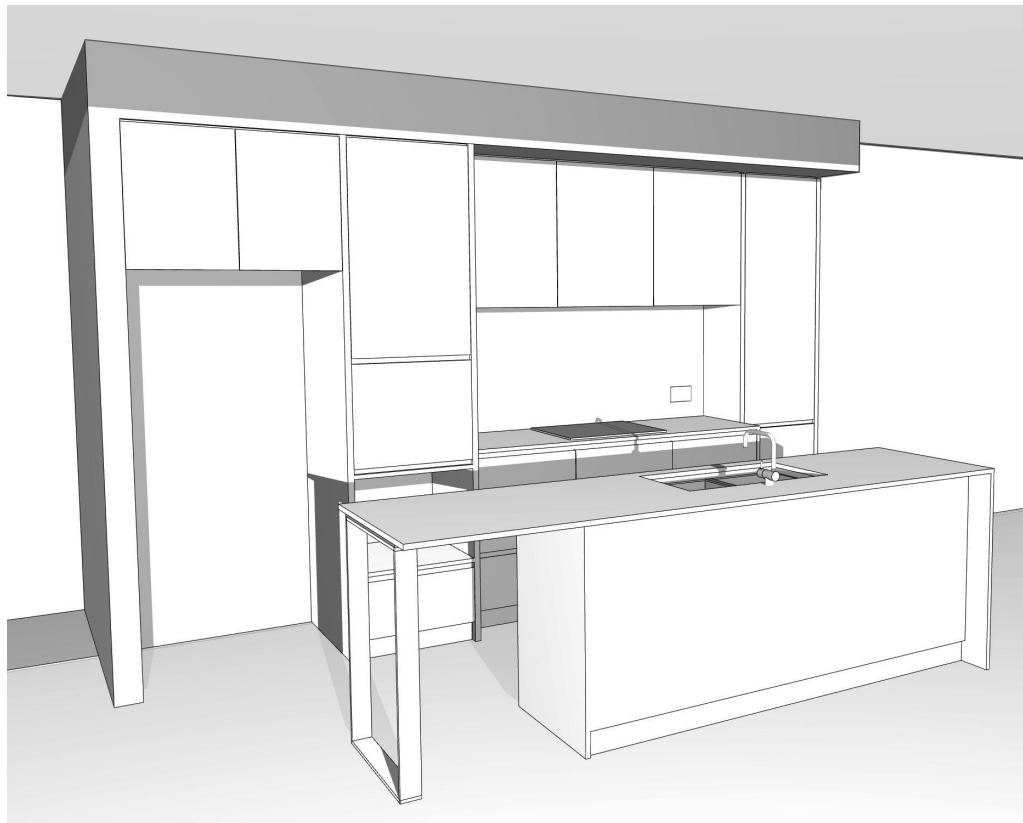
Disclaimer: The content contained in these architectural plans [Plans] remains at all times the intellectual property of Intrapac Property Pty Ltd (Company). The Plans are provided strictly on the basis of and subject to these terms. By taking a copy of the Plans, you acknowledge and represent to the Company that you have read, understood and accepted these terms and agree to keep the Plans confidential. The Plans are current as at the date of issue, and are approximate and for illustrative purposes only. Any furnishings illustrated are not included. To the extent permitted by law, no guarantees, warranties or representations as to the accuracy and completeness of the Plans are made. The Company may substitute items with equivalent items, use substitute product(s) or modify the Plans (including any specifications or dimensions represented on the Plans) due to building and design controls that could not be reasonably foreseen at the time of issue, product changes, unavailability, and similar reasons. You should review the specific terms of the contract of sale prior to purchase. The provisions of the contract of sale override any inconsistency with these Plans. To the extent permitted by law, the Company and its directors, officers, employees, advisers and agents expressly disclaim all liability which may be based on any information, statement or opinion contained in or omitted from the Plans. You must not rely upon such information in any way. The Company accepts no liability for any action taken or not taken by any party in reliance on the Plans.



KITCHEN BENCH - ISLAND BENCH TYPE A 1:50



KITCHEN BENCH - REAR BENCH TYPE A



TYPE X - KITCHEN - LEVEL 1

NO ROOF DECK

NOTE:
PLANS MAY BE A MIRROR VERSION
DEPENDING ON ORIENTATION IN LOT

SALES CONTRACT
DOCUMENTS

ARCADIA

Arcadia Studio Pty Ltd
ABN 42 625 145 992
Studio 5 / 109 Hawke Street
WEST MELBOURNE 3003
frontdesk@arc-studio.com.au
www.arc-studio.com.au

Client

INTRAPAC

Project

NEW TOWNHOUSES

Project Address

QUAY 2
TORQUAY

Date

24/10/18

Project Number

A1617025

Scale

1:50 @ A3

House Type

BELLARINE

Facade Type

- NO ROOF DECK

Drawing

KITCHEN

Revision